



Queen's Wharf Brisbane Act 2016

Queen's Wharf Brisbane (Leasehold Land) Declaration 2017

Current as at 13 February 2017

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Queensland

Queen's Wharf Brisbane (Leasehold Land) Declaration 2017

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Queen's Wharf Brisbane (Leasehold Land) Declaration 2017

1 Short title

This declaration may be cited as the *Queen's Wharf Brisbane (Leasehold Land) Declaration 2017*.

2 Definitions

In this declaration—

plan means the plan shown in schedule 2.

riverside expressway structure means any infrastructure and structural works forming part of the South East Arterial Road (Riverside Expressway) that was declared by gazette on 1 July 1983 to be an urban arterial road under the repealed *Main Roads Act 1920*.

Examples of infrastructure and structural works—

pylons, pile caps, footings, abutments, piers, conduits, pipes, barriers, railings, electrical works and lighting infrastructure

3 Land to be leased to the State—Act, s 43

- (1) This is a leasehold declaration for section 43(1)(b) of the Act.
- (2) The land mentioned in schedule 1, column 1 is the subject of the declaration.
- (3) All of the land is to be leased to the State in perpetuity.
- (4) Each interest mentioned in schedule 1, column 2 opposite the land is an ongoing interest for the land.
- (5) The purpose for declaring all of the land is to grant leases—
 - (a) for development in relation to the Queen's Wharf priority development area; and
 - (b) providing for the land to be used for any of the following purposes—
 - (i) recreational;

- (ii) cultural;
- (iii) commercial.

4 Riverside expressway structure excluded

The riverside expressway structure is not subject to this declaration even if it is on the land mentioned in schedule 1, column 1.

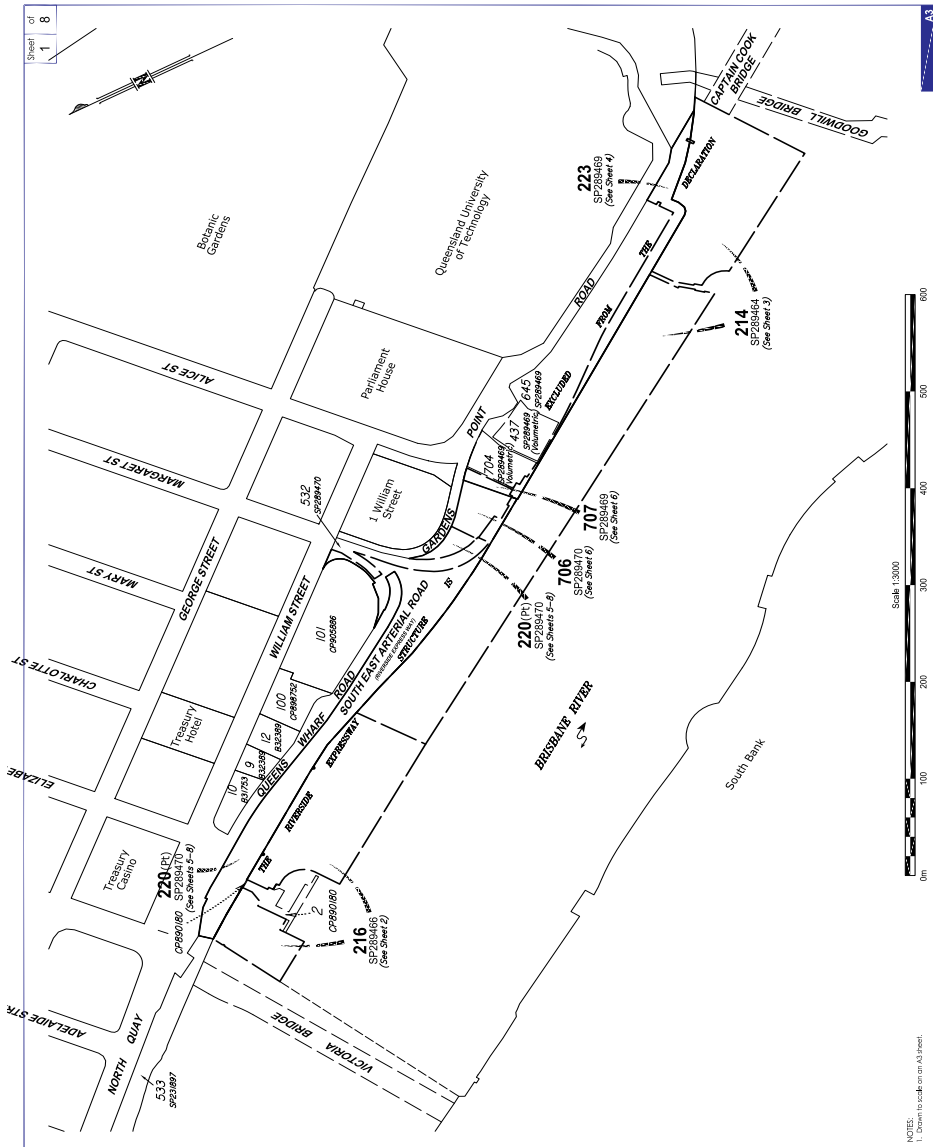
Schedule 1 Declared land

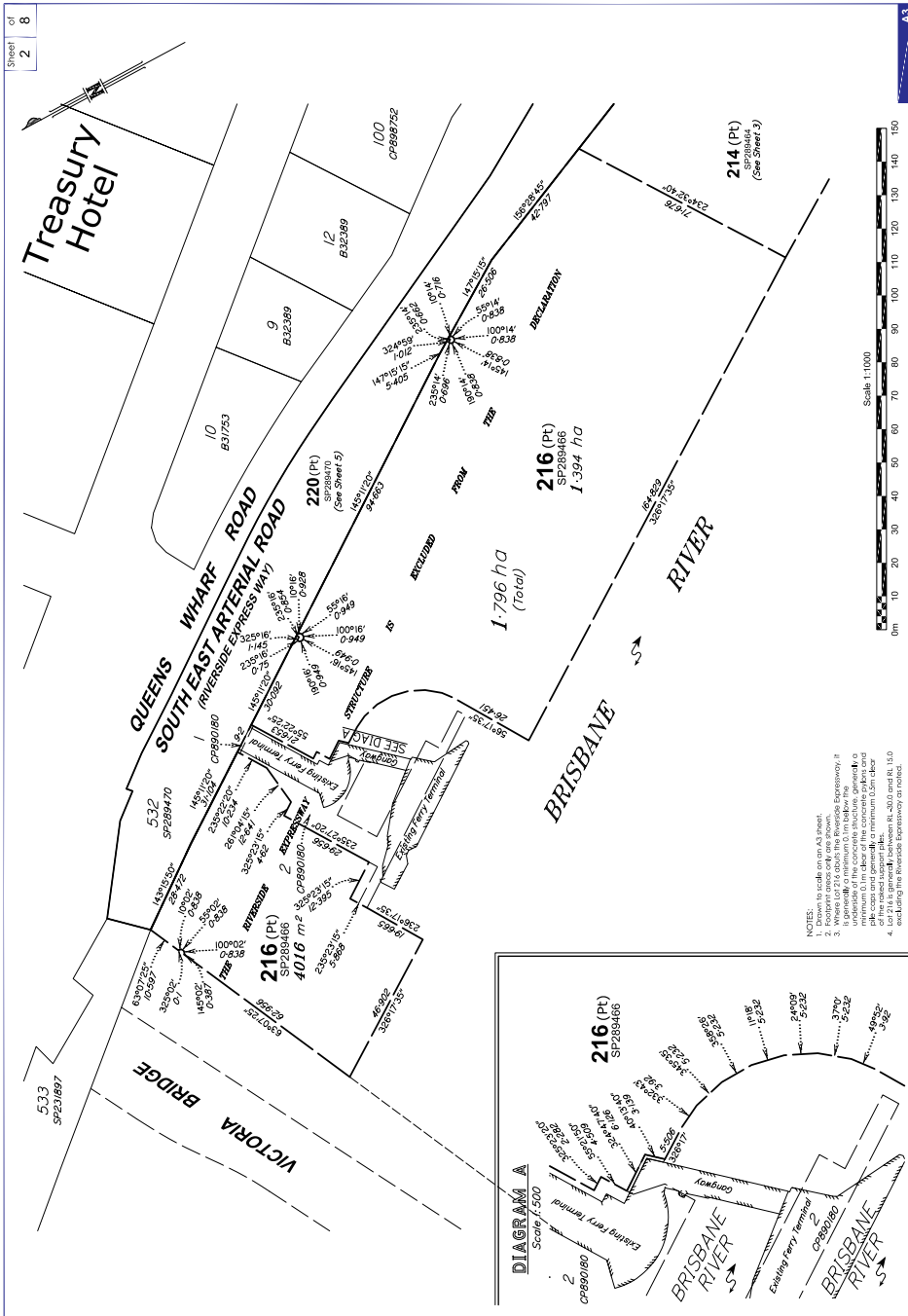
section 3

Column 1	Column 2
Land	Ongoing interest
The lot described as 214 SP289464 on the plan	
The lot described as 216 SP289466 on the plan	
The lot described as 220 SP289470 on the plan	
The lot described as 223 SP289469 on the plan	
The lot described as 706 SP289470 on the plan	Easement number 712633400 over Easement A on SP207244 for the benefit of Energex Limited ACN 078 849 055
The lot described as 707 SP289469 on the plan	Easement number 712633445 over Easement B on SP207245 for the benefit of Energex Limited ACN 078 849 055

Schedule 2 Plan

section 2, definition plan





- NOTES:
1. The lot boundaries shown are as shown.
 2. Easements are shown as shown.
 3. Where Lot 216 abuts the Riverside Expressway, it is shown as a concrete structure, generally a minimum 10m wide and generally a minimum 10m deep.
 4. Lot 216 is proposed to be used for residential purposes, including the Riverside Expressway as noted.

